

**Item No 04:-**

**17/01689/FUL**

**Stratton Court Village  
Stratton Place  
Stratton  
Gloucestershire**

**Item No 04:-**

**Redevelopment to provide the erection of a 64 bed care home, 8 care suites, 34 assisted living units, ancillary accommodation and associated works - Variation of Condition 2 (Approved drawings) pursuant to planning permission ref. 15/03052/FUL to revise drawings to include a lift overrun and associated change to the roof form of the care home and revised eaves height (east elevation) at Stratton Court Village Stratton Place Stratton Gloucestershire**

<b>Full Application 17/01689/FUL</b>	
<b>Applicant:</b>	Aura Care Construct
<b>Agent:</b>	Aura Design Collective
<b>Case Officer:</b>	Mike Napper
<b>Ward Member(s):</b>	Councillor Patrick Coleman
<b>Committee Date:</b>	8th November 2017
<b>RECOMMENDATION:</b>	<b>PERMIT</b>

**Main Issues:**

- (a) Impact on amenity of neighbouring properties
- (b) Impact on the visual appearance of the building

**Reasons for Referral:**

Ward Member (Cllr Coleman) required the application to be considered by Committee due to the complex planning history of the site. A Site Inspection Briefing has also been arranged for the Sites Inspection Panel in advance of the Committee Meeting.

**1. Site Description:**

The site has permission for a care home development granted permission in 2015 (see Relevant Planning History), which is currently under construction. The site is otherwise surrounded by residential development on the remaining three sides.

The application site is within a Development Boundary and is specifically allocated, under Policy 18 (Development within the Development Boundaries of Cirencester and the Principal Settlements) of the current Cotswold District Local Plan 2001- 2011, as an open space. The application site is the subject of three Tree Preservation Orders (TPOs) due to the public amenity value of many of the mature trees within the site.

**2. Relevant Planning History:**

- 10/03705/FUL Change of use and extension of existing leisure facility to provide a care home with 60 bedrooms and ancillary accommodation. Part permitted on appeal 12.07.2011;
- 11/05444/FUL Change of use to single dwelling. Permitted 13.01.2012;
- 11/05830/FUL Erection of seven detached dwellings. Permitted 17.08.2012;
- 14/02783/FUL Variation of conditions 3 (scheme of landscaping), 9 (design and details), and 11 (drainage works) in respect of application 10/03705/FUL: Permitted 12.06.15;
- 15/03052/FUL Redevelopment to provide the erection of a 64 bed care home, 8 care suites, 34 assisted living units, ancillary accommodation and associated works (Revised scheme): Permitted 18.11.15.

### 3. Planning Policies:

NPPF National Planning Policy Framework  
LPR42 Cotswold Design Code  
LPR46 Privacy & Gardens in Residential Deve

### 4. Observations of Consultees:

Conservation & Design Officer: No objection.

### 5. View of Town/Parish Council:

Cirencester Town Council: No objection.

#### Other Representations:

2 Third Party letters of Objection (including one from Local Residents' Group signed by 10 residents from 5 addresses): The first raised the following concerns:- "The proposed view platform will intrude into the privacy of our garden and those of our neighbours. I fail to see the importance of needing a view platform when there are ample grounds and a conservatory already being planned for. Each 'unit' will have sufficient light and views. These alterations are unnecessary and invade our privacy and right to privacy in our own garden.

In addition, the builders already carry out work regularly on Sundays and all bank holidays and therefore any additional work will lengthen the already disturbing inconvenience these works are causing.

The private drive from the main road to Stratton Place is regularly blocked by delivery lorries that load/unload at the end of our private driveway, therefore causing lengthy delays in being able to leave or access our properties. Additional works will cause more obstructions and deliveries."

and from the Local Residents' Group, the comments are as follows (submission also attached in full to this report):-

- "i) The mass and form of the structure are much greater than was anticipated when the original consent was granted in 2015;
- ii) Concerns about eaves height were raised at the time of construction, when they could have been easily rectified;
- iii) The significantly increased eaves height causes the building to be overbearing when considered in the context of immediately adjacent and neighbouring buildings and from neighbouring viewpoints including from the public realm;
- iv) The resulting building is out of scale with its surroundings;
- v) The lift shaft overrun was not included in the original consent but has been constructed anyway: the vertical face and proposed inappropriate tile cladding further adds to the overbearing aspect of the elevation, from many viewpoints;
- vi) The drawings and information made available to the public through the website are inaccurate, and understate what has been built. As such, these drawings cannot be approved."

1 Third Party letter raising General Comments: The tile-hanging of the lift overrun would not be in keeping with the appearance of the approved building and should be a rendered finish.

### 8. Officer's Assessment:

The proposals seek to regularise retrospective works comprising i) the raising of eaves level by approx 800mm of the south-eastern elevation (Elevation 7 in the submitted details) of the central accommodation block, which borders residential properties in Albion Street, ii) an addition (approx 3m in height and 2m in width) to the roof form again of the south-eastern elevation resulting from the requirement under the Building Regulations for an internal lift overrun and iii) an

additional enclosure has been included at ground floor level to the same elevation to provide ventilation for the below ground car parking.

#### **(a) Impact on amenity of neighbouring properties**

Understandable concerns have been raised by local residents of Albion St regarding the additional effect by overbearing impact of the works undertaken to the south-eastern elevation relative to those for which permission has previously been granted.

In terms of the position of the block adjacent to the Albion St properties, there is no change to that previously permitted. The shared boundary between the site and the Albion St properties does not run parallel to the care home, but at its nearest point, the south-eastern elevation of the new building is approx 4.5m and at its furthest 26.5m from the boundary. Notwithstanding the increase in eaves level, the ridge height of the new building on this elevation (approx. 10m) has not been raised relative to the approved height. The height of the windows in the elevation has not been raised (i.e. the increase in eaves height is in additional blockwork from the top of the window openings to the eaves).

The additional effect of the lift overrun on the bulk of the building would not be experienced throughout the length of the elevation, due to its limited width. Where it is directly experienced, officers consider that the main effect would already be created by the height of the roof and that the additional effect of the overrun structure would not be materially more significant in terms of over-bearing impact in that context.

The additional ground level enclosure has little impact on neighbours, although it will have some impact on the space available for the landscaping proposals, which are now the subject of a separate current planning application and will be given due consideration.

The impact of the increased height and massing of the proposed buildings when compared with the approved scheme are considered by officers not to be so materially harmful to warrant refusal of the development. Therefore, officers consider that the retention of the works described would accord with the established guidance for the protection of residential amenity used for the interpretation of Local Plan Policy 46 and the design policies within section 7 of the NPPF.

#### **(b) Impact on the visual appearance of the building**

The visual impact of the revisions described are apparent in some glimpsed views across private property from Albion St. It is important to note that the building would have been evident from the same viewpoints regardless of the current revisions. Again, the overall height of the building would not change. The visual effect of the raised eaves line above the first floor windows would be very limited in terms of its effect on the architectural form of the building. The final treatment of the lift overrun addition has been amended, following negotiation, to be finished in render to match that of the walling below it, rather than the originally proposed tile-hung finish. Additionally, the structure would be capped and topped with chimney pots to give the impression of a chimney stack, which would not be unusual in a traditional building of this scale, thereby reducing the incongruity of its appearance.

The additional ground level enclosure has little additional visual impact and none from public viewpoints.

Officers are now content that the retention of the additions would not be materially harmful to the design and appearance of the building, having regard to Local Plan Policy 42 and the provisions of section 7 of the NPPF.

### **9. Conclusion:**

Other comments received relate to works permitted previously under the original 2015 scheme and no changes are proposed in the current application other than those described here.

Compliance with conditions regarding construction practices are, and will continue to be, dealt with by the Council's Enforcement team to ensure that the relevant requirements are being met.

Officers are content that the drawings are appropriately accurate when compared with the works undertaken on site and that they have been able to make a valid assessment of their effect. Officers have had regard to the individual and cumulative impacts of the revisions and are satisfied that, relative to the impact of the scheme already permitted, the retention of the works should be permitted.

#### **10. Proposed conditions:**

The development hereby approved shall be implemented in accordance with the following drawing number(s): A151004 1427/PA/200 Rev. B, A151004 1427/PA/201 Rev. B, A151004 1427/PA/202 Rev. B, A151004 1427/PA/301 Rev. A, A151004 1427/PA/302 Rev. A, A151004 1427/PA/303 Rev. A, A151004 1427/PA/304 Rev. A, A151004-AL(0)41 Rev. E, A151004-AL(0)42 Rev. E, A151004-AL(0)43 Rev. H and A151004-AL(0)44 Rev. G.

**Reason:** For purposes of clarity and for the avoidance of doubt, in accordance with paragraphs 203 and 206 of the National Planning Policy Framework.

The works comprising the external enclosure of the lift overrun, as shown by the approved drawings, shall be completed in their entirety prior to the occupation of the development.

**Reason:** To ensure that, in accordance with Cotswold District Local Plan Policy 42 and the provisions of the NPPF, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

Development shall not commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved by, the Local Planning Authority in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

**Reason:** To ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community, in accordance with Cotswold District Local Plan Policy 5 and the provisions of the NPPF.

No phase of the development, including demolition or site clearance, shall be commenced until an Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP), to ensure the protection of retained trees during the construction period within that phase, have been submitted to and approved in writing by the Local Planning Authority. The matters to be encompassed within the AMS and TPP shall include, but not necessarily be limited to, the following:-

- i) a specification for the pruning of, or tree surgery to, trees to be retained;
- ii) the specification of the location, materials and means of construction of temporary protective fencing and/or ground protection in the vicinity of trees to be retained, in accordance with the recommendations of BS5837 2012, and details of the timing and duration of its erection and dismantling;
- iii) the definition of areas for the storage or stockpiling of materials, temporary on-site parking, site offices and huts, mixing cement or concrete, and fuel storage;
- iv) the means of demolition of any existing site structures and of the reinstatement of the area currently occupied thereby;
- v) the specification and routing and means of installation of drainage or any underground services within the typical radial root protection areas of retained trees;
- vi) the details and method of construction of any other structures such as boundary walls and alterations to existing ground levels within the typical radial root protection areas of retained trees;

- vii) the details and method of construction of any roadway located within the typical radial root protection areas of retained trees in accordance with BS 5837 and current industry best practice; and as appropriate for the type of roadway required in relation to its usage;
- viii) Provision for the supervision of any works within the root protection areas of trees to be retained, and for the monitoring of continuing compliance with the protective measures specified, by an appropriately qualified arboricultural consultant, to be appointed at the developer's expense and notified to the Local Planning Authority, prior to the commencement of development; and provision for the regular reporting of continued compliance or any departure there from to the Local Planning Authority

The findings of the AMS and provisions of the TPP shall thereafter be implemented in full in accordance with the approved details prior to the commencement of works on site, including demolition or site clearance, and for the duration of the construction of the development.

**Reason:** To safeguard the retained/protected tree(s) in accordance with Cotswold District Local Plan Policies 10 and 45. It is important that these details are agreed prior to the commencement of development as works undertaken during the course of construction could have an adverse impact on the well-being of existing trees.

Landscaping of the development hereby permitted shall be undertaken in accordance with the submitted 'Landscape Strategy' and 'Proposed Boundary Works' drawings (ref. 15072.102 Rev. A and 15072.103 respectively). Landscaping on the boundary of the site shall be completed by the end of the first planting season following the start of construction and the remainder by the end of the planting season immediately following the development being brought into use or occupied.

**Reason:** To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy 45.

Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

**Reason:** To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy 45.

No development shall take place until a 5 year landscape and ecological management plan for the site, based upon the recommendations within section 6 of the 'Preliminary Ecological Assessment' (report number RT-MME-119907-01), by Middlemarch Environmental dated June 2015, and the 'Landscape Strategy' drawing 15072.101 Rev. A, has been submitted to and approved in writing by the Local Planning Authority. The provisions of the said management plan shall thereafter be permanently implemented in accordance with timescales to be included and agreed within the management plan.

**Reason:** In the interests of the character and appearance of the site and surrounding area in accordance with Cotswold District Local Plan Policy 45 and to ensure that the biodiversity of the site is protected and enhanced in accordance with the Wildlife and Countryside Act 1981. It is important that these details are agreed prior to the commencement of development in order to ensure proper management of the landscape and biodiversity at the site both during and following the construction of the approved scheme.

No development shall take place within the application site until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation, including a timetable for the submission of the findings which has been submitted by the applicant and approved in writing by the Local Planning Authority.

**Reason:** To ensure that items of archaeological interest are properly recorded. Such items would potentially be lost if development was commenced prior to the implementation of a programme of archaeological work. It is therefore important that such a programme is agreed prior to the commencement of development.

In the event that contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment shall then be undertaken in accordance with the requirements of Environment Agency's Model Procedures for the Management of Land Contamination, CLR 11, and where remediation is necessary, a remediation scheme shall be submitted to and approved in writing by the Local Planning Authority prior to further works taking place on site. The said remediation scheme shall include provisions to be made to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property, and a timetable for the completion of the remediation works. The approved remediation scheme shall be implemented in accordance with the said scheme.

**Reason:** To prevent pollution of the environment in the interests of the amenity in accordance with Cotswold District Local Plan Policy 5 and Section 11 of the NPPF.

No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period.

The Statement shall:-

- i. specify the type and number of vehicles;
- ii. provide for the parking of vehicles of site operatives and visitors;
- iii. provide for the loading and unloading of plant and materials;
- iv. provide for the storage of plant and materials used in constructing the development;
- v. provide for wheel washing facilities;
- vi. specify the intended hours of construction operations;
- vii. measures to control and suppress the emission of dust and dirt during construction

**Reason:** To reduce the potential impact on the public highway and nearby residents, in accordance with Cotswold District Local Plan policies 5 and 38 and the provisions of the NPPF. It is important that these details are submitted and approved before the commencement of any works on site to minimise the impact of construction/demolition vehicles on the local highway network and neighbours.

Prior to beneficial occupation of the development hereby permitted, car parking to incorporate 50 spaces including a minimum of seven disabled spaces and two electric vehicle charging points within the site shall be provided, and no part of the development shall be occupied until the approved works have been completed. The approved works shall be permanently maintained as such thereafter.

**Reason:** To reduce potential highway impact, in accordance with Cotswold District Local Plan Policy 39 and the provisions of the NPPF.

Prior to beneficial occupation of the development hereby permitted, secured and covered cycle parking numbering a minimum of 10 spaces within the site shall be provided, and no part of the development shall be occupied until the approved works have been completed. The works shall be permanently maintained as such thereafter.

**Reason:** To reduce potential highway impact, in accordance with Cotswold District Local Plan Policy 39 and the provisions of the NPPF.

Prior to beneficial occupation of the development hereby permitted, the vehicular turning facilities shall be provided in accordance with the submitted plan and those facilities shall be maintained available for those purposes thereafter.

**Reason:** To ensure that a safe, suitable and secure means of access for all people that minimises the conflict between traffic and cyclists and pedestrians is provided in accordance with Cotswold District Local Plan Policy 38 and the provisions of the NPPF.

The external walls of the development hereby permitted shall be built of artificial Cotswold stone and render.

**Reason:** To ensure that in accordance with Cotswold District Local Plan policies 18 and 42, the development will be constructed of materials that are appropriate to the site and its surroundings. It is important to protect and maintain the character and appearance of the area in which this development is located.

The roofslopes of the development hereby permitted shall be covered with artificial Cotswold stone slates.

**Reason:** To ensure that, in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF, the development will be constructed of materials that are appropriate to the site and its surroundings. It is important to protect and maintain the character and appearance of the area in which this development is located.

The development shall not start until samples of the proposed walling and roofing materials have been approved in writing by the Local Planning Authority and only the approved materials shall be used.

**Reason:** To ensure that, in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

The development shall not start until sample panels of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar, and of render, showing the proposed colour and texture, have been erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panels. The panels shall be retained on site until the completion of the development.

**Reason:** To ensure that in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panels on site during the work will help to ensure consistency.

All door and window frames shall be recessed a minimum of 75mm into the external walls of the buildings.

**Reason:** To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF.

No bargeboards or eaves fascias shall be used in the proposed development.



**Reason:** To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF.

No development shall commence until the design and details of external doors, windows, balconies and external balustrades have been submitted to and approved in writing by the Local Planning Authority.

The design and details shall be accompanied by drawings to a minimum scale of 1:20 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

**Reason:** To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF.

No works of demolition shall take place within the application site until the Local Planning Authority have received and approved in writing an architectural recording of pre 1948 structures within the site from the applicants or their agents and successors in title. This work will be carried out in accordance with the Written Scheme of Investigation previously submitted or to an alternative standard recognised by Historic England and agreed with the Local Planning Authority.

**Reason:** In order to preserve a record of and advance understanding of the significance of any heritage assets to be lost and to make this evidence publicly accessible in accordance with Paragraph 141 of the NPPF.

The development hereby permitted shall be carried out in accordance with the approved finished floor levels plans (as submitted 28.10.15) unless otherwise agreed in writing with the Local Planning Authority.

**Reason:** It is important to ensure the accuracy of the height of the elements of the development in relation to existing levels and structures both on and off the site, in accordance with Cotswold District Local Plan policies 18 and 42 and the provisions of the NPPF.

Prior to the occupation of the care home building, the first floor windows of the south-east elevation (as shown by drawing ref. 1427/PA/313) shall be installed with opaque glazing and shall be permanently maintained with the said opaque glazing.

**Reason:** To ensure that the privacy of occupants of neighbouring properties is maintained, in accordance with Cotswold District Local Plan Policy 46 and the provisions of the NPPF.

For purposes of clarity and the avoidance of doubt, the application site, as a planning unit, shall be used only for C2 (Residential Institutions) use, and for no other purpose, including any other purpose in Class C3 (Dwelling Houses), of the Schedule to the Town and Country Planning (Use Classes) Order 2010 or the equivalent to that Class in any statutory instrument amending or replacing the 2010 Order or any other change of use permitted by the Town and Country Planning (General Permitted Development) Order 1995.

**Reason:** It is essential that the Local Planning Authority retains control over the use of the development because of its rural location on allocated employment land, in accordance with Cotswold District Local Plan policies 21, 32, 38 and 39, and the NPPF.

No demolition or construction works shall be undertaken at the site before 0730 on weekdays and 0800 on Saturdays nor after 1800 on weekdays and 1400 on Saturdays, nor at any time on Sundays or Bank Holidays.

**Reason:** To protect the amenity of the locality, especially for people living and/or working nearby, in accordance with Cotswold District Council Plan Policy 5 and the National Planning Policy Framework.

Prior to the development being brought into use, surface water attenuation/storage works for the extension/dwelling hereby permitted shall be provided by the installation of a functioning water butt(s) (minimum capacity 200 litres) in position(s) to be agreed by the Local Planning Authority. The water butt shall thereafter be permanently maintained in working order in the agreed position unless an alternative siting is approved in writing by the Local Planning Authority.

**Reason:** To enhance water conservation and as a precautionary measure to reduce the possible increased risks of flooding associated with water runoff.

Prior to the care home (other than the Assisted Living Units) being brought into use, a scheme for treating fumes (e.g. from boiler plant) and cooking odours, so as to render them innocuous before their emission to the atmosphere, shall be submitted and agreed in writing by the Local Planning Authority. The means of treating the fumes and cooking odours shall be installed and be operational before the development is brought into use or occupied and shall be maintained in accordance with the approved details thereafter unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To ensure that any concentration of air pollutants in the vicinity is minimised and/or a nuisance is not caused in accordance with Cotswold District Local Plan Policy 5 and the provisions of the NPPF.

Prior to the care home (other than the Assisted Living Units) being brought into use, a scheme which specifies the provisions to be made for the control of noise emanating from the development shall be submitted to and agreed in writing by the Local Planning Authority (including details of inlet and extract ventilation). The noise mitigation scheme shall be completed in accordance with the approved details prior to the care home being brought into use and thereafter permanently maintained and shall not be altered without the prior written approval of the Local Planning Authority.

**Reason:** To protect the amenity of the locality, especially for people living nearby and/or working nearby, in accordance with Cotswold District Local Plan Policy 5 and the provisions of the NPPF.

Prior to the installation of any external lighting, a scheme which specifies the provisions to be made for the level of external illumination of the site and for the control of light pollution shall be submitted to and agreed in writing by the Local Planning Authority. The scheme shall be implemented prior to the development being brought into use and thereafter maintained in accordance with the approved details, unless otherwise agreed in writing by the Local Planning Authority.

**Reason:** To prevent light pollution in accordance in accordance with Cotswold District Local Plan Policy 5 and the provisions of the NPPF.

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**COTSWOLD**  
DISTRICT COUNCIL

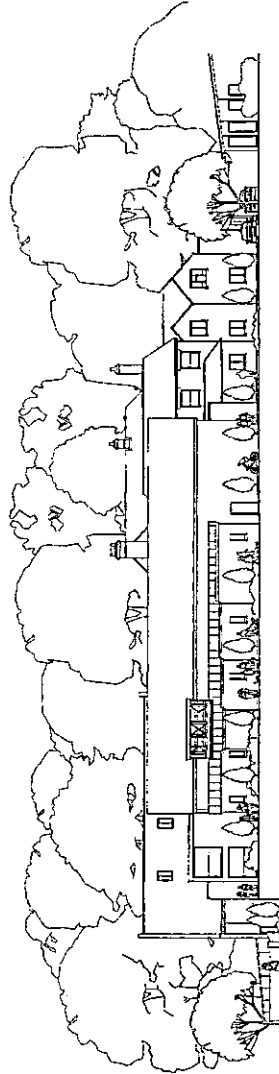
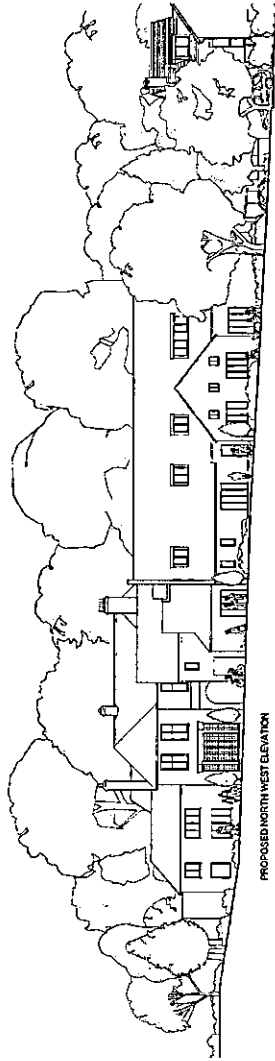
**STRATTON COURT VILLAGE STRATTON PLACE STRATTON CRENSHAW**

Organisation: Cotswold District Council

Department:

Date: 26/10/2017





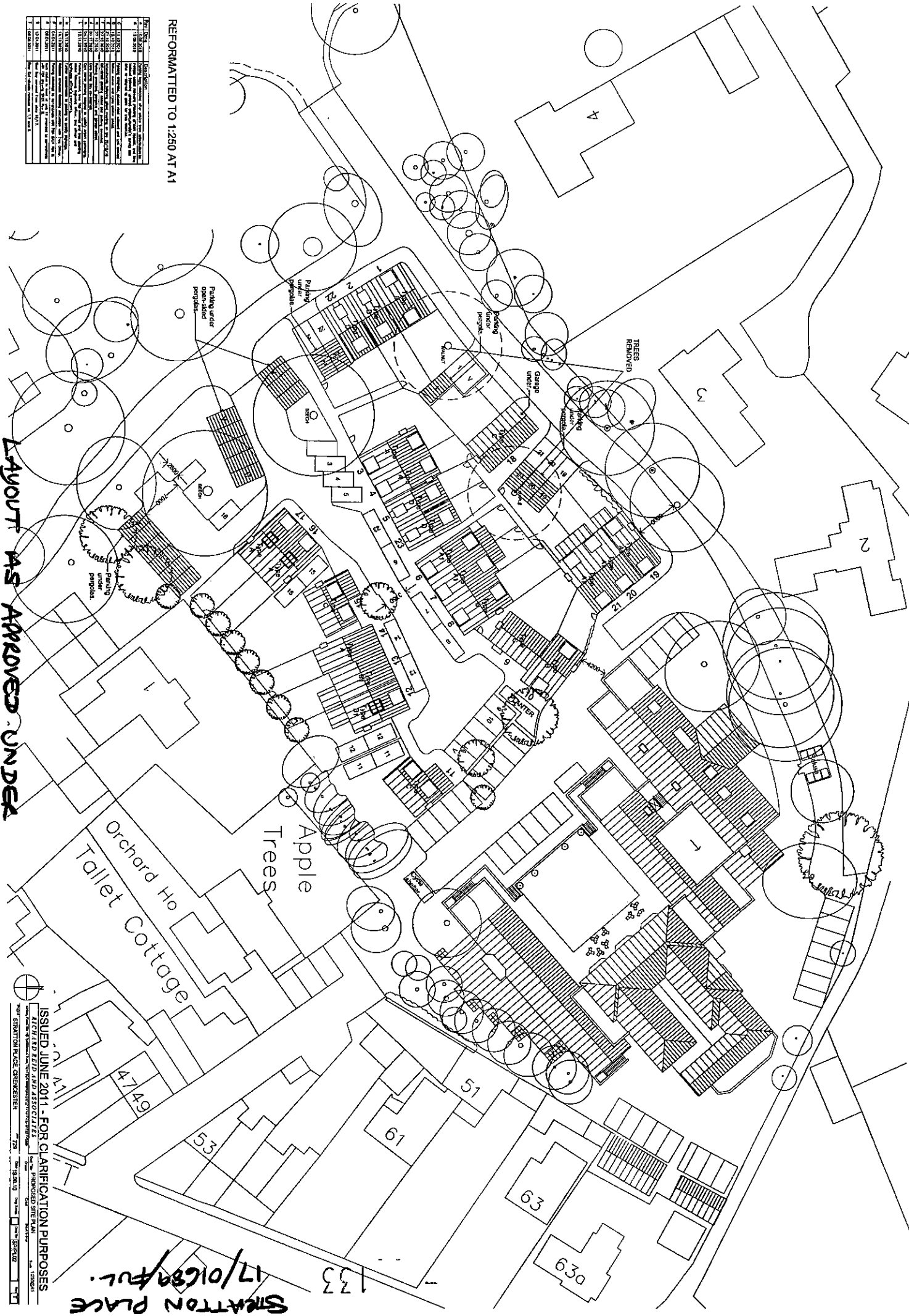
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 DATE: 10/03/2010  
 DRAWN BY: J. B.

AS APPROVED UNDER APPEAL 10/03705/FUL.

NO.	DATE	DESCRIPTION
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99	11/18/2010	ISSUED FOR PERMITS
100	11/18/2010	ISSUED FOR PERMITS

REFORMATTED TO 1:250 AT A1

LAYOUT AS APPROVED UNDER  
 APPLIC 10/03705/FUL.



STANTON PLACE 17/01689/FUL.  
 133

ISSUED JUNE 2011 - FOR CLARIFICATION PURPOSES  
 ATTEND REID AND ASSOCIATES  
 725 ...  
 STANTON PLACE, CHERRIEBURN

Orchard Ho  
 Tallet Cottage

TREES  
 REMOVED

Apple  
 Trees

4749

53

61

57

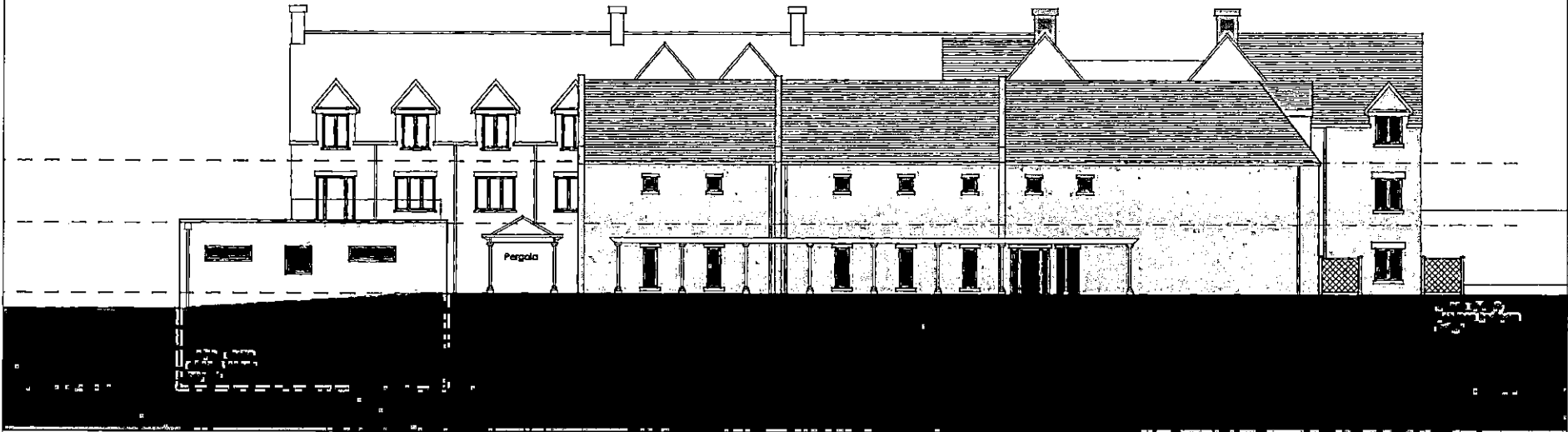
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630

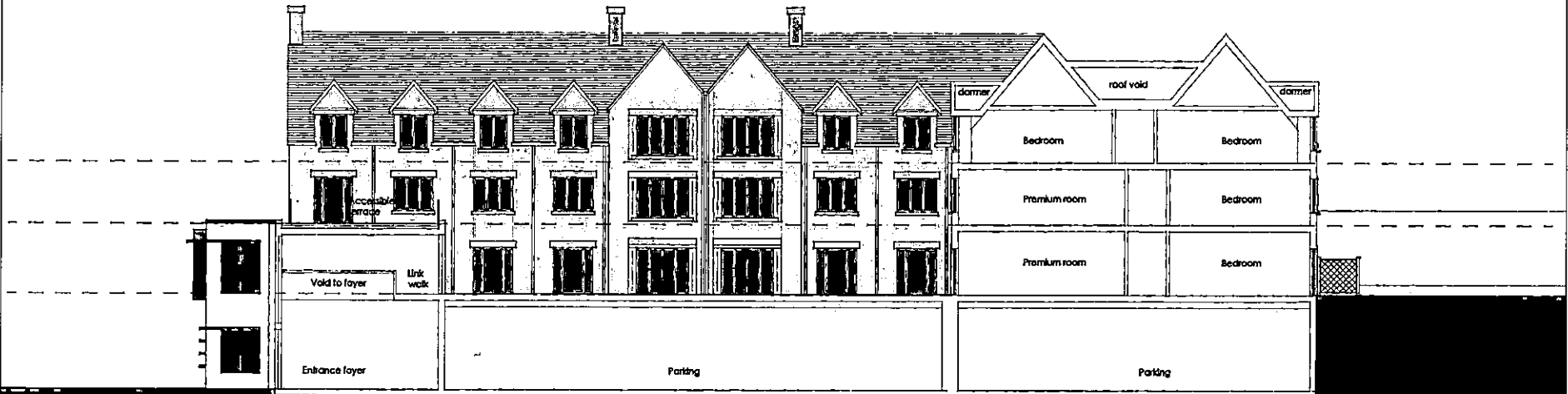
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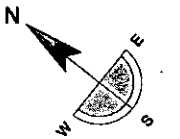
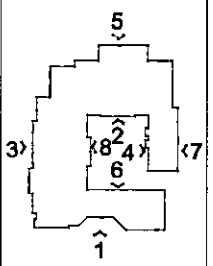
4



Elevation 7  
 South East



Elevation 8 - Courtyard  
 North west facade



0m 5m

134



DRAWING STATUS  
 PLANNING APPLICATION

NO.	DATE	BY	APP.

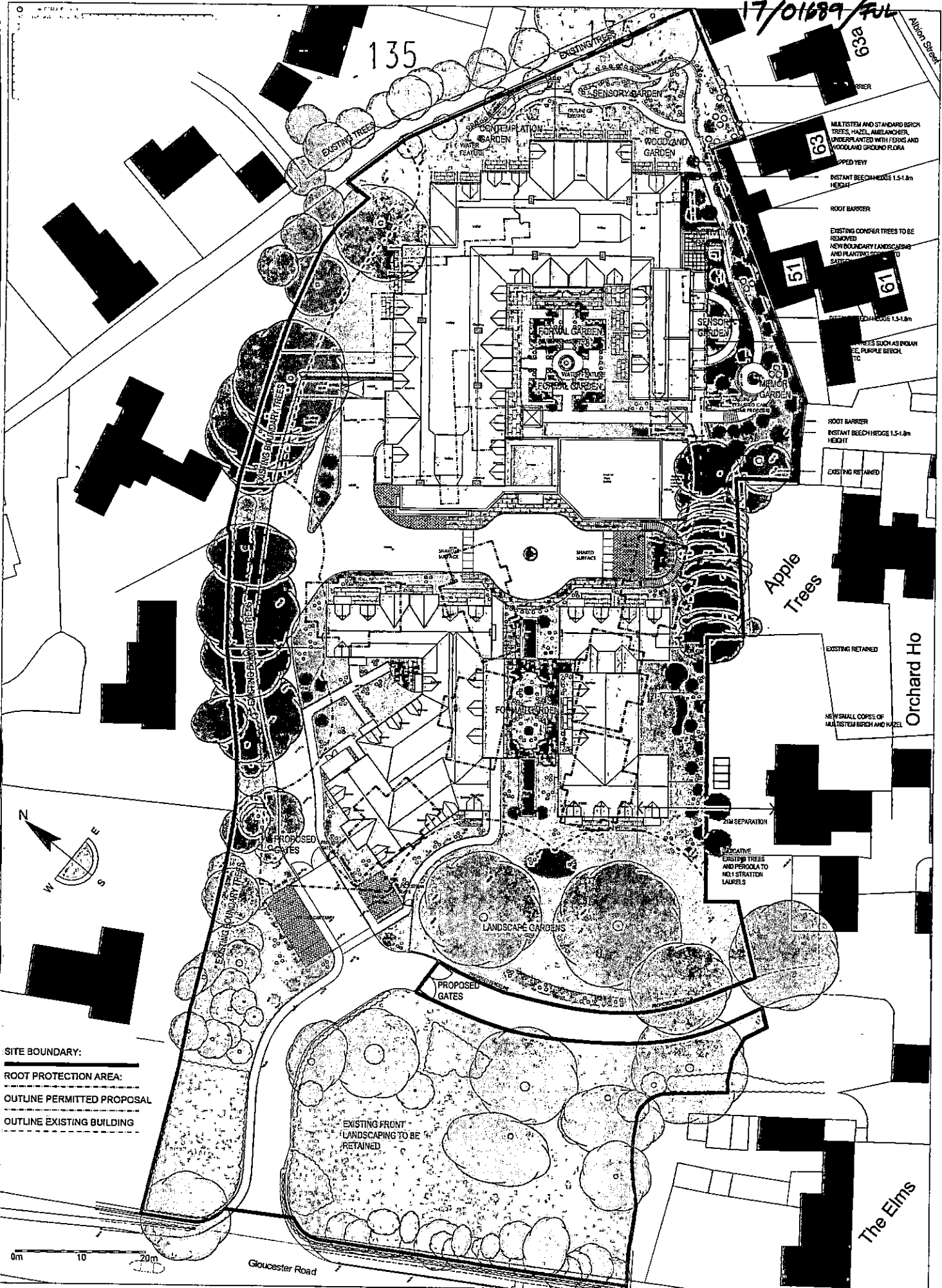
Edmund William Architects

PROJECT  
 Stratton Place, Cirencester  
 Care Development  
 Care Home Building  
 Elevations Sheet 4

SCALE 1:500  
 DATE: July 2012  
 DRAWING NO: 1427/PA/313

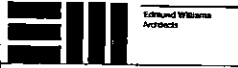
STRATTON PLACE  
 17/01/2012/FUL.

AS APPROVED UNDER PERMISSION 15/03052/FUL.



SITE BOUNDARY:  
 ROOT PROTECTION AREA:  
 OUTLINE PERMITTED PROPOSAL  
 OUTLINE EXISTING BUILDING

0m 10 20m



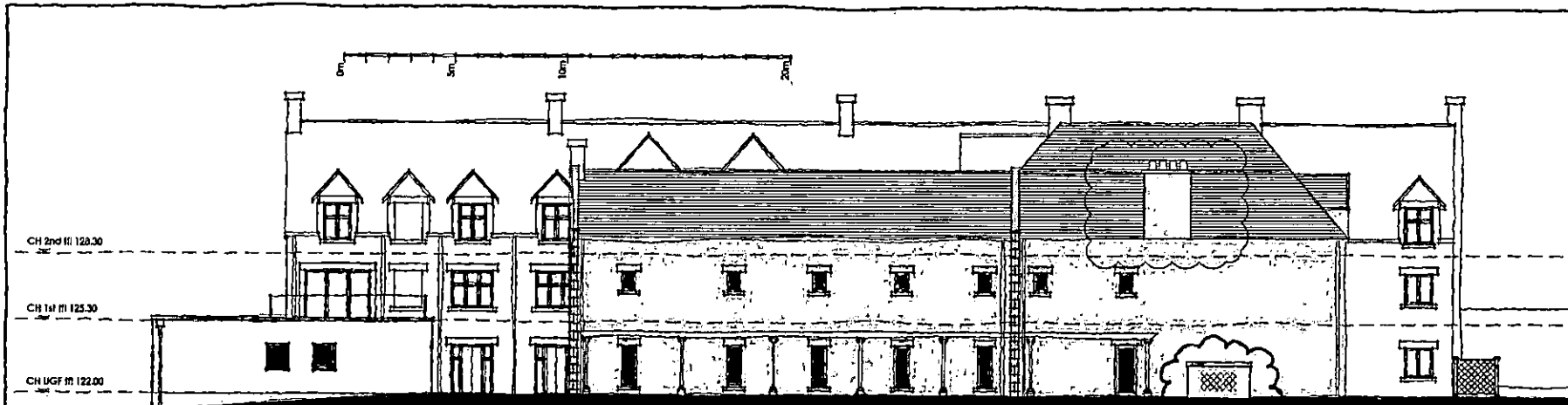
Edmund Williams  
Architects  
CCG  
COURTHOUSE

STRATTON PARK, CIRENCESTER  
 CARE DEVELOPMENT  
 PROPOSED SITE PLAN

DRAWING STATUS:  
 PLANNING APPLICATION  
 Substitution drawing

DWG NO. 1427/PA/010  
 Author: CQ/EL Rev: B 21.10.15  
 July 2015 - 1:250@A1

LAYOUT AS APPROVED UNDER PERMISSION 15/03052/FUL.



ELEVATION 7



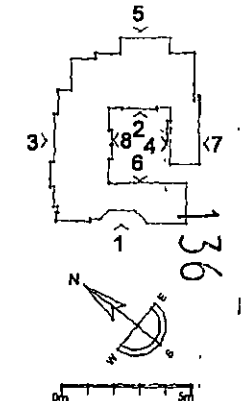
ELEVATION 8

CURRENTLY PROPOSED REVISIONS

**Notes**  
 Do not scale, use figure dimensions only.  
 All dimensions to be verified on site after the commencement of any work or the production of any shop drawing. All discrepancies to be reported to the architect.  
 This drawing is to be used in conjunction with all related Architectural and Engineer's drawings and any other relevant information.  
 This drawing is copyright © of AURA Architects Ltd.

REV	DATE	REVISION	INITIALS	CHECKED
A	-	FINAL ISSUE	EL	SEL
B	21.03.18	RCDF, CHIMNEY, WINDOW RE	EL	SEL
C	28.08.18	Window head height increased Scaffolding removed	CHS	SEL
D	18.07.18	CH 2 Floor height increased CH 3 Clipped added	CHS	SEL
E	18.08.17	1st Overhang added	CAS	SEL
F	10.07.17	1st Overhang shown with stone cladding	PALIS	SEL
G	18.08.17	1st Overhang shown with stone cladding and 8 No. chimney pipes	CHS/EL	SEL

**DRAWING STATUS**  
 AS-RECORDED  
 AS-BUILT  
 FOR CONSTRUCTION  
 FOR TENDER  
 FOR COORDINATION  
 FOR PLANNING  
 FOR CONSULTATION



**Aura Design Collective Architects**  
 Aura Design Collective  
 Cloud House  
 14th Lane  
 Parkwood  
 G12 8JZ

Client  
**AURA CARE CONSTRUCT**

Project  
**CIRENCESTER CARE VILLAGE  
 STRATTON PLACE**

Drawing Title  
**Proposed General Arrangement  
 Care Home Elevations 7 and 8**

Scale  
 1:100 @ A1  
 Date  
 11.01.2019

Drawn by  
 EL  
 Checked by  
 SEL

Job No.  
**A151004**  
 Drawing No.  
**AL(0)044**  
 Rev  
**G**

STRATTON PLACE  
 17/01/2019/EL



## Response to planning application 17/01689/FUL

I am writing on behalf of a local residents' group (LRG) in Albion Street, Stratton, whose properties immediately abut or are adjacent to the south east boundary of the development at Stratton Court, 42 Gloucester Road, Stratton, Cirencester GL7 2NY

Our properties (listed, see p. 14) are those most immediately affected by the care home structure being built as part of the Stratton Court care village development, and which is the subject of this application.

**We OBJECT to this application as it stands and ask that it be refused.**

Key points of this response are:

- The mass and form of the structure are much greater than was anticipated when the original consent was granted in 2015
- Concerns about eaves height were raised at the time of construction, when they could have been easily rectified
- The significantly increased eaves height causes the building to be overbearing when considered in the context of immediately adjacent and neighbouring buildings and from neighbouring viewpoints including from the public realm
- The resulting building is out of scale with its surroundings
- The lift shaft overrun was not included in the original consent but has been constructed anyway: the vertical face and proposed inappropriate tile cladding further adds to the overbearing aspect of the elevation, from many viewpoints
- The drawings and information made available to the public through the website are inaccurate, and understate what has been built. As such, these drawings cannot be approved

The applicant's drawings do not accurately show the height at which the eaves have been built above first floor window head. On the approved drawings this measures less than 800mm. On this retrospective application drawing it measures just less than 1600mm, but has been built at c.1900mm (based on a visual count of 225mm block courses). When considering overbearing impact, these cumulative additional amounts are highly significant and material, and this apparent error is not acceptable.

Overall, residents are deeply concerned at the serious impact of this structure on the immediate environment, the Albion Street streetscape and the amenity value of adjacent properties

We recommend that this application is refused on the basis of

- Overbearing impact on immediately adjacent Albion Street properties
- The resulting clumsy and unacceptable design
- Insufficient landscaping included within the plans to mitigate the overbearing effect
- Apparently inaccurate and potentially misleading drawings and information submitted as part of this application.

Planning permission was granted through the original application [re15/03052/FUL] for this:

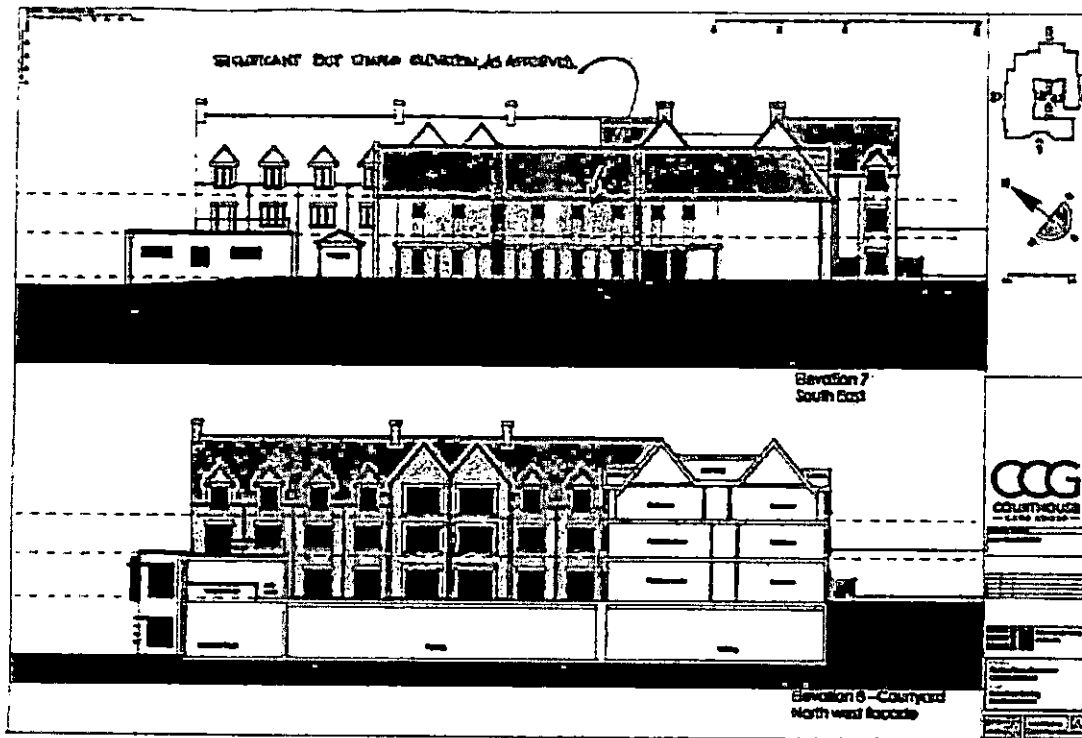


Figure 1 Applicant's drawing as originally approved 15/03052/FUL)

At the time of the permission it was clearly stated by neighbours that the design was regarded as being as big as it could be without being unduly overbearing. On this basis it was supported by Albion Street residents. The relationship with Albion Street properties was further shown by the applicant on the illustration below (Fig. 2). This also shows the tree planting that is important to mitigate the impact of the scheme as originally approved, which was emphasised by the inspector in the planning appeal related to the previous care home

scheme on this site.



Edmund Williams  
Architects

STRATTON PLACE, CIRENCESTER  
PROPOSED CARE DEVELOPMENT  
ILLUSTRATIVE VIEWS - view 2.



COURTHOUSE  
- CARE GROUP -

Figure 2 Illustrative view of the development as prepared by the applicant at the time of the original application

However, in the course of construction, the developer has built this (Fig. 3):

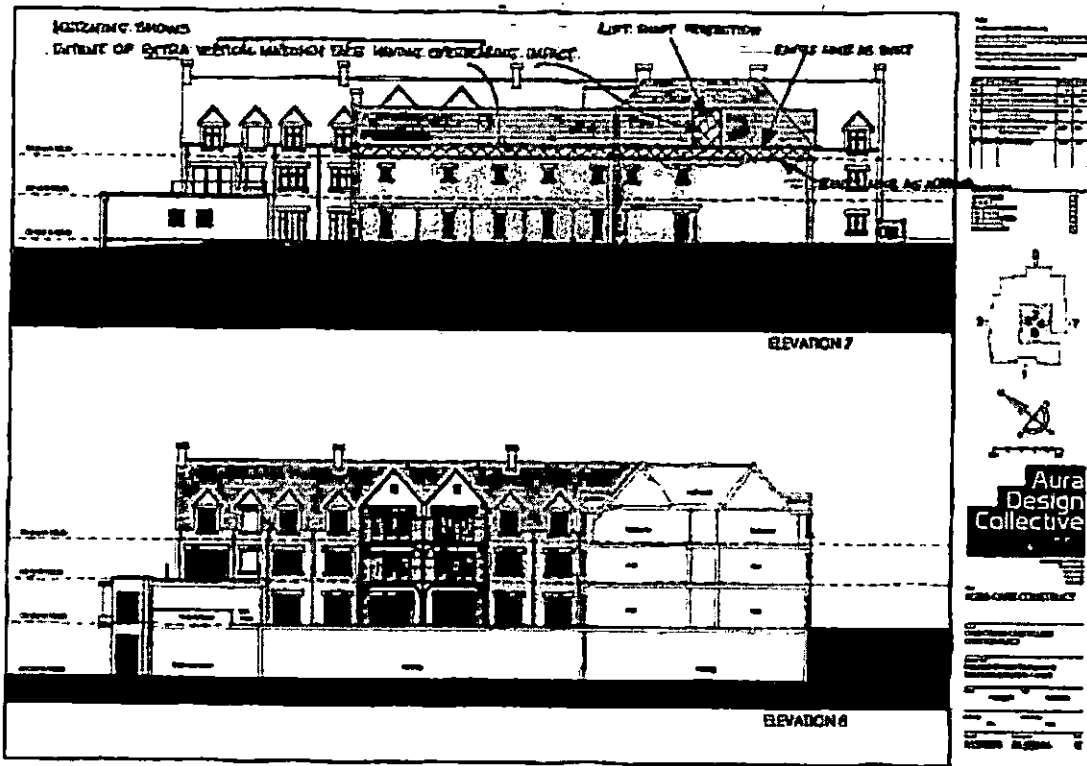
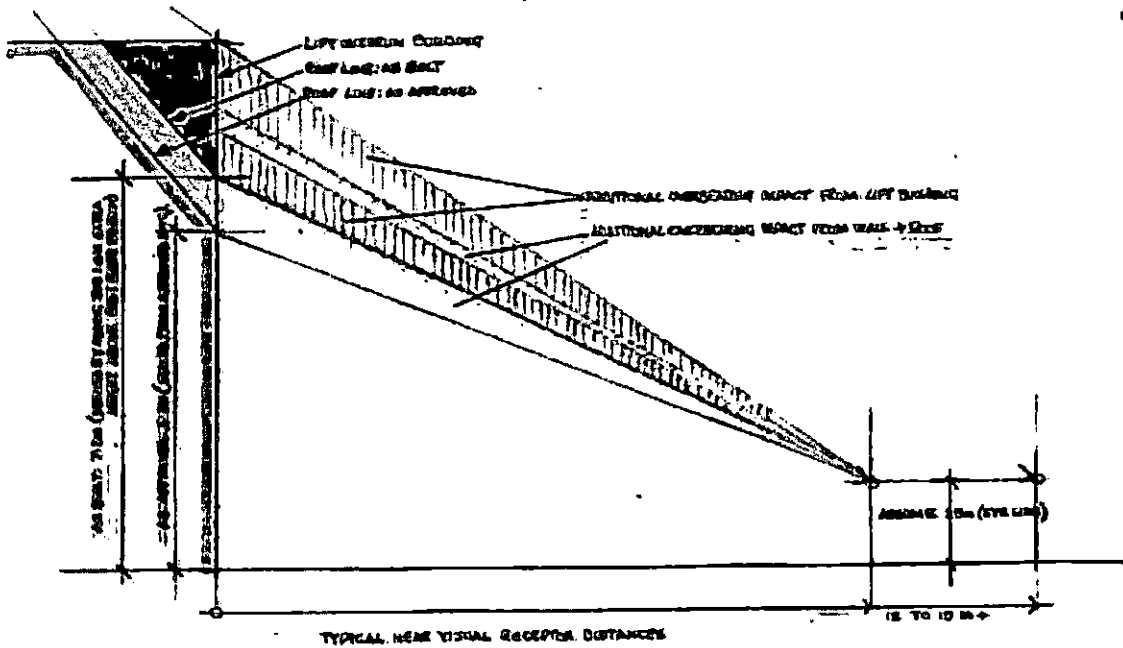


Figure 3 This drawing shows the difference in what has been built rather than what was originally approved.

Due to its continuous mass (as opposed to being separate buildings) and its relatively large size and proximity to the boundary, any increase in eaves height creates additional harm to neighbours' amenity by increasing the overbearing effect. The diagram below (Fig. 4) demonstrates how the increase in eaves height, taken together with the lift shaft overrun structure, causes the resulting structure to be overbearing on Albion Street properties.



IMPACT OF INCREASED BUILDING ON TYPICAL NEARBY VISUAL RECEPTORS, SCALE 1-50 @A3

Figure 4 Diagram illustrating the overbearing effect on Albion Street properties

From this diagram, it can be clearly seen that the difference between what was originally consented and what is now being proposed is material, significant, overbearing and creates unacceptable harm to residents of Albion Street properties. If the new dimensions had been included as part of the original application then we would have made strong objections on that basis.

## ADDITIONAL MASS OF VERTICAL WALL FACE



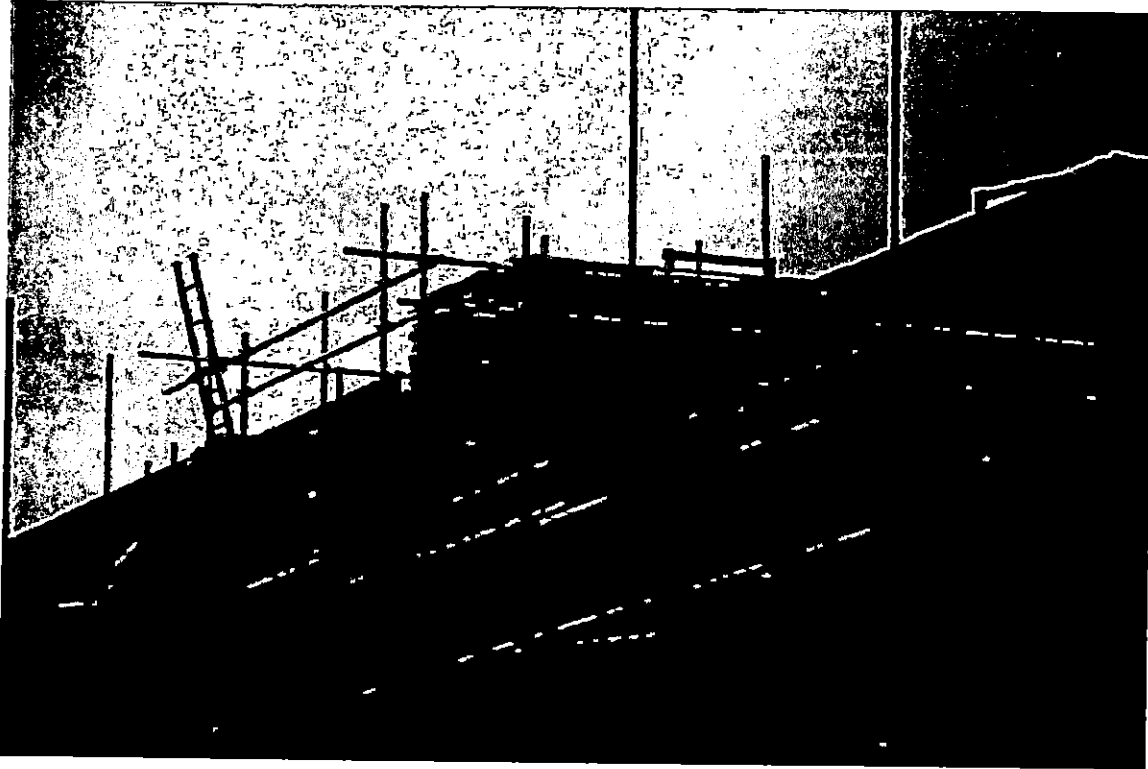
PHOTO FROM WALL AT ALBION ST.

Figure 5 This annotated image shows the increased eaves height (c.1900mm) as built and the additional mass of the vertical face of the lift shaft overrun

In addition to the increased eaves height, the lift shaft overrun in effect adds a further storey

of wall height in this location. This adds considerably to the overbearing impact of the elevation on immediately adjacent properties.

This is further evidenced by the following views (Figs. 6, 7, and 8), showing the mass of the lift shaft overrun and its protrusion from the roofing form:



*Figure 6 View showing the lift shaft overrun. View taken from driveway of #65 Albion street*



*Figure 7 This close up view demonstrates clearly the additional impact of the lift shaft overrun structure that is not part of the original consent.*

We also note that the drawings give no indication of the roof covering to this structure.

In our view, efforts to camouflage this structure by cladding with tiles are architecturally misguided and do not in any way mitigate its significant overbearing impact.

Additionally, (Figs 7 and 8 images) suggest the top of the overrun being above the ridge height. There will presumably be a further capping detail of some sort to be added which will extend beyond the ridge height. Again, this information is not included on the drawings submitted to the LPA as part of this application.

These changes have significantly altered the character of the building and created an unduly and unacceptably overbearing effect and impact. The resulting building face is now out of scale with the buildings on Albion Street to which it relates as can be seen from the images shown below.



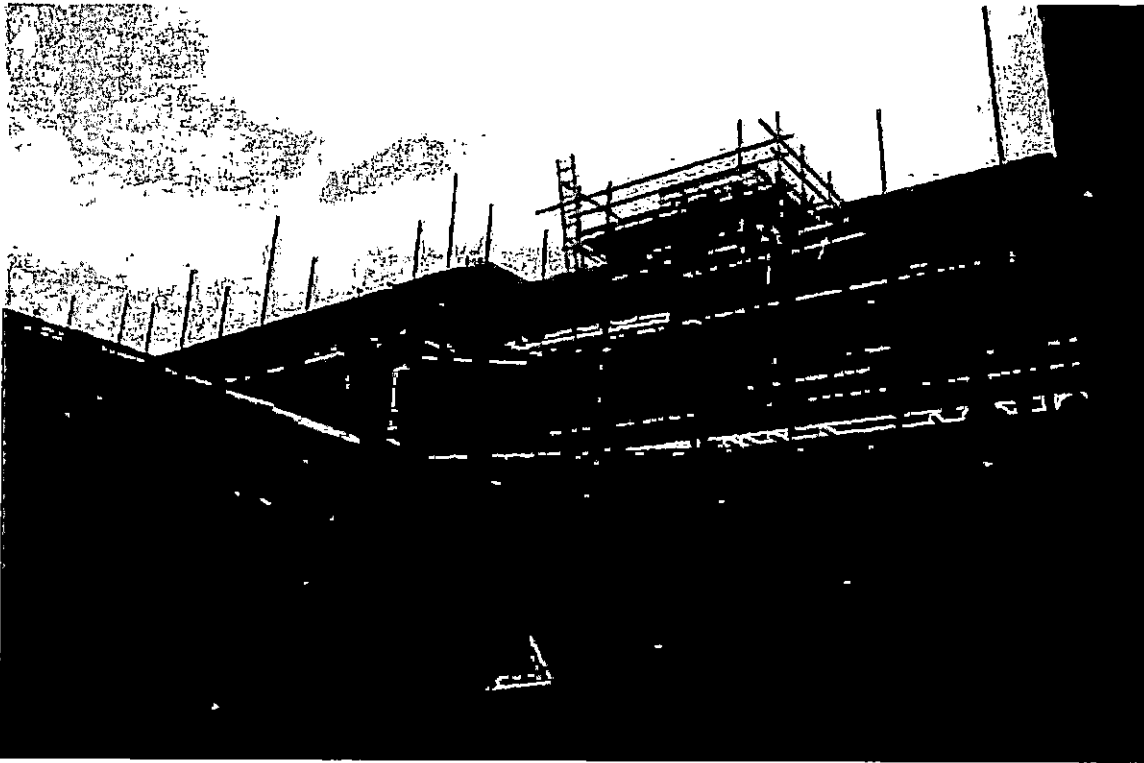


Figure 8 This image shows proximity, mass and scale of the built structure, taken from the side of #63 Albion Street



Figure 9 This photo demonstrates how the structure is out of scale with the house at #51 and is overbearing. Image taken from the garden of #51.



*Figure 10 This image is taken from the middle of Albion Street, in the public realm, demonstrating clearly the significant and harmful effect of the structure on the streetscape.*

Fig 10 in particular demonstrates the overbearing effect of the structure in comparison to the building at #51 Albion Street and how the view is dominated by the structure, even when taken from the middle of the street (in the public realm) rather than from within the property's garden area.

The applicants did not apply for permission before increasing the eaves height and building the lift overrun, which are significant changes. They were noted, because they were so obvious and overbearing, during construction by neighbours and by the enforcement officer - who determined that this planning application is necessary to properly control the development.

As a consequence, this is the first opportunity for nearby residents to comment on the proposals and to make our views known.

What has been built is non-compliant, was brought to the attention of the applicant, and could have been rectified then. The applicant must be aware that continued non-compliance renders this and subsequent work at risk. The applicant is seeking to validate built form that was not included as part of previous applications. If it had been included it would have been the focus of objections.

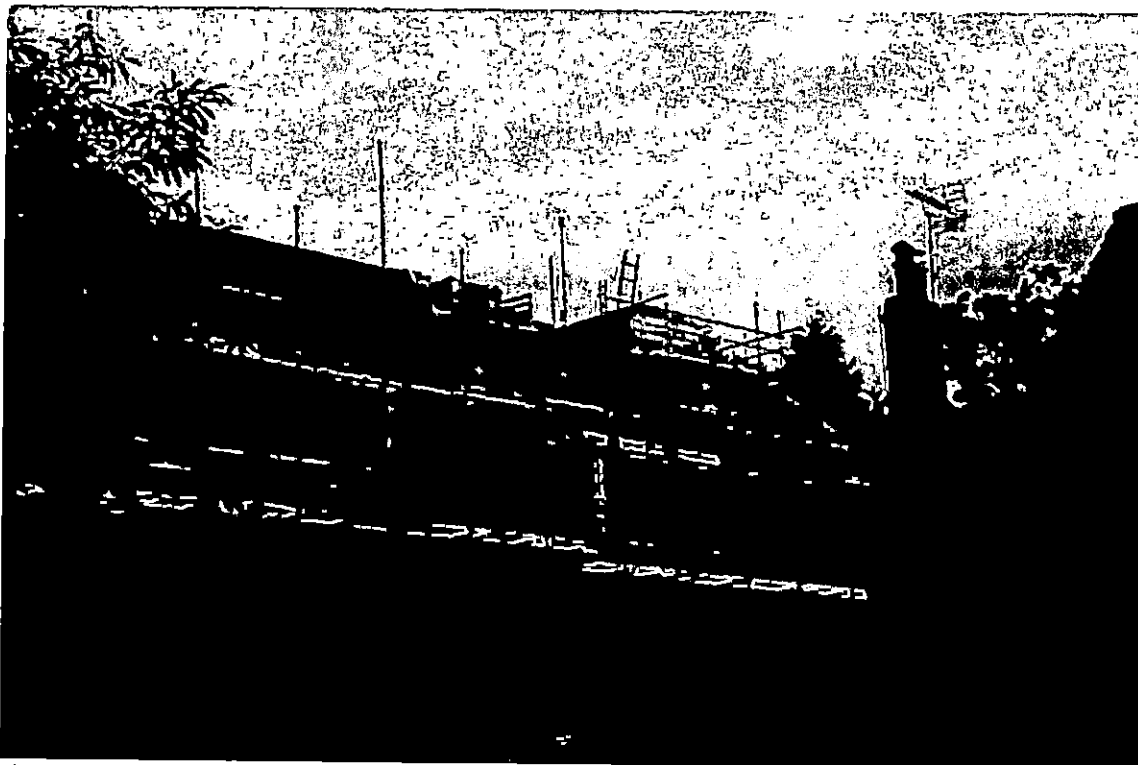
It is crucial that the additional impacts of the increased eaves height and the lift overrun, on neighbours who are undoubtedly impacted, is assessed in detail. Drawings should be provided to depict accurately the mass of the building in relation to where it can be seen from in adjacent gardens (including accurate comparison with what is currently approved), and showing elevations in relation to the neighbouring buildings over which it stands. The drawings need also to assess whether the proposed tree planting could conceivably mitigate the impacts of this much enlarged structure, as we are very concerned that it will not be effective in doing so.

Unless Officers are minded to delegate refusal of this application, we formally request that the Ward Councillor is invited to consider whether it should be called-in for consideration by the Planning Committee.

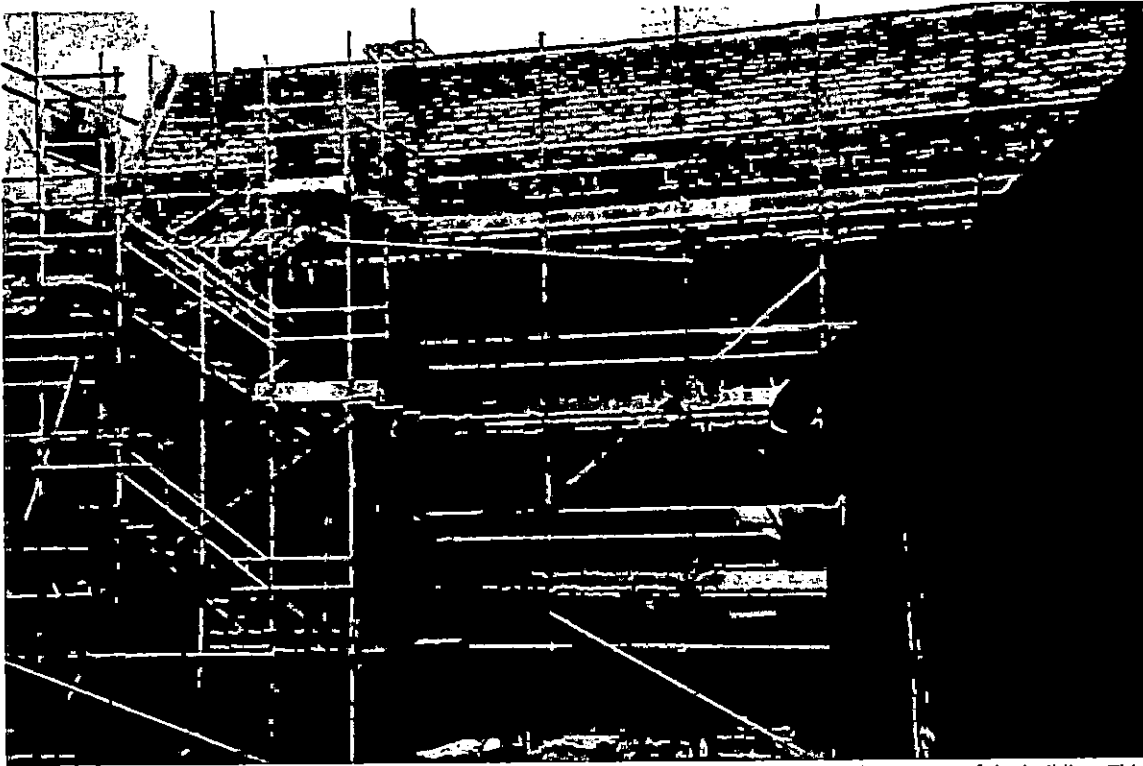
The images below (Figs 11-13) demonstrate clearly the overbearing effect of the built structure on neighbouring properties



*Figure 11 This view shows the impact from the first floor of #59 Albion Street, demonstrating the scale of the structure in comparison to existing buildings.*



*Figure 12 This image demonstrates the out of scale, overbearing effect of the structure with neighbouring buildings providing scale and comparison. Photo taken from the public realm, in the side road off Albion Street, immediately adjacent to no 51 and opposite Orchard House. The lift overrun is also clearly visible in this photo.*



*Figure 13 This image is taken from the first floor of no 61, demonstrating the scale, mass and proximity of the building. This directly relates to elevation 7 and shows the additional eaves height quite clearly.*

In its current form we urge the Council to refuse this application. The increased impacts give rise to an overbearing and oppressive building form that is harmful to the amenity of neighbours and presents an unacceptably crude and monolithic design to the public realm. We do not believe that the few trees proposed to be planted will mitigate these harmful effects. The application drawings understate the height of the building proposed and should be corrected, and have dimensions added to avoid any obfuscation. The fact that the building even as approved would have visual impacts is acknowledged on the approved planting plan which shows trees by this boundary to be planted as semi-mature specimens..

### **Conclusion**

1. The drawings submitted as part of this application are believed to be inaccurate and should be withdrawn or refused.
2. The impacts of overbearing on neighbouring properties are severe and are not adequately mitigated by the current proposals. The planning inspectorate has previously indicated that landscape planting on this boundary is important to mitigate harm. As the building has demonstrably increased in mass and harmful impact, the original mitigation is now clearly inadequate. Accordingly the application should be refused.
3. The design resulting from these ill-considered, incremental changes, which diverges from that which was originally approved, lack merit and does not reach the standards implicit in the Cotswold Design Code.

4. On all these grounds, and based on the arguments and evidence presented in this submission, we ask for the application to be refused.

*This response is sent on behalf of residents at:*

- **John Hanson and Nicky Barratt**, Orchard House, Albion Street, Stratton, Cirencester GL7 2HT
- **Jeremy and Daniella Drew**, 51 Albion Street, Stratton, Cirencester GL7 2HT
- **Derin Emir and Jocasta Bullock**, 59 Albion Street, Stratton, Cirencester GL7 2HT
- **Colin and Hilary Forbes**, 61 Albion Street, Stratton, Cirencester GL7 2HT
- **Nic and Janine Mills**, 63 Albion Street, Stratton, Cirencester GL7 2HT

Submitted by Colin Forbes on behalf of those named above.

Date of submission: 4<sup>th</sup> July 2017